

CHAPTER V

ARCHITECTURAL PRESERVATION DISTRICTS

In **Architectural Preservation Districts** designs for new buildings should be compatible with other buildings in the district and need not imitate existing buildings in order to be compatible. Well-designed modern buildings may be considered in **Architectural Preservation Districts** when they respect the scale and character of surrounding existing buildings and are compatible and complimentary. As appropriate to the modern design, exceptions may be granted to certain specific requirements of these guidelines.

Due to different characteristics of buildings in **Architectural Preservation Districts** the District is broken into the following three zones with each zone having its own guidelines:

AP-1 District contains the Colonial Williamsburg Historic Area, areas adjacent to the Colonial Williamsburg Historic Area, the old campus of William and Mary, and the National Register Historic Districts of Pollard Park and Chandler Court.



DOG Street Pub (1929-31)
402 West Duke of Gloucester Street



Warburton House (c1900) - 402 Scotland Street



Community Building (1998) - 401 North Boundary Street

AP-2 District contains the older neighborhoods surrounding the **AP-1 District**, such as College Terrace, Burns Lane, Indian Springs, West Williamsburg and Capitol Landing Road.



Tribe Square (2011) – 249 Richmond Road



Harwood House (1950) – 104 Adams Street



McLendon House (2013) – 302 Page Street



Jerome Casey House (1929) – 711 Richmond Road



Morecock House (1895, r 2012) – 319 Capitol Landing Rd



Brooks House (2009) – 518 South England St

AP-3 District contains post World War II Colonial Revival and more modern style dwellings such as those located in Pinecrest, Capitol Court, Crispus Attucks and West Williamsburg Heights (including all of the Arts and Cultural District).

The **Arts and Cultural District** is a subset of **AP-3** and allows for more design freedom of paint colors, sign colors and site elements to distinguish this area from other areas in the City.



(1939) - 711 Hamilton Street



Keene House (1982) - 500 Capitol Court



Russell House (1975) - 418 Harriet Tubman Drive



TADA Beads - 1001 Richmond Road



Currently Elephant's Tale (1930) - 901 Richmond Road

ARCHITECTURAL CHARACTER

Design review within **Architectural Preservation Districts** is intended to protect and to preserve the historic architectural fabric of buildings from inappropriate renovations, to create an atmosphere for compatible future growth, to prevent the intrusion of adverse environmental influences, and to assure that new buildings will be in keeping with the character of older neighborhoods within **Architectural Preservation Districts**.

- These guidelines describe a range of prescriptive architectural practices that can be employed in numerous ways, but still assure that any new construction, addition or alteration of existing buildings is done in such a way as to complement and contribute to the existing scale and character of the district.
- Architecture for new buildings or additions should not replicate or imitate historic buildings, but be an evolution of and compatible with Williamsburg's design traditions, forms and materials.
- Replications of 18th century buildings are not acceptable.
- Traditional architectural styles associated with Williamsburg provide flexibility of design and innovative possibilities for responding to the existing pattern of development within the district, thus fitting into and building up patterns that are consistent in each zone. This includes Georgian, Queen Anne and colonial revival styles as well as bungalows and four square forms.
- Adaptations of these architectural styles ensure long-term compatibility within the city and enhance opportunities for adaptive use of buildings.
- Exceptional contemporary architectural designs should address the unique site requirements and relate successfully to nearby styles and architecture. Sensitively designed modern architecture contributes vitality and cultural continuity to these districts. In particular, public buildings in the city are typically of modern design.
- The creative use of non-traditional materials will be reviewed on a case-by-case basis depending on the design of the building.



William Byrd House (1771) - 410 West Francis Street

APPROVAL OF NEW MATERIALS

The Architectural Review Board will continue to review new materials on a regular basis. New materials may be presented to the Board during any regular meeting, and should include a sample of the material and the manufacturer's specifications for the material. If the Board determines that the ***Design Review Guidelines*** should be amended to include the new material, the Board may initiate an amendment to the Guidelines in accord with Article IX, Architectural Review, Sec. 21-853(h), of the Zoning Ordinance.



Wood Siding (left) Cementitious Siding (right)



Modern window



601 Wythe Lane

ARCHITECTURAL PRESERVATION DISTRICT (AP-1)

Architectural Preservation District AP-1 contains the Colonial Williamsburg Historic Area, areas adjacent to the Colonial Williamsburg Historic Area to include Merchant's Square, the old campus of William and Mary, and the National Register Historic Districts of Pollard Park and Chandler Court. These areas have a multitude of designs ranging from modest bungalows, gabled colonial revival styles, Dutch colonial revival styles, Virginia gambrel colonial revival style and vernacular dwellings.



Chapman House (1939) - 604 Pollard Park



SunTrust Bank (2008) - 202 North Henry Street



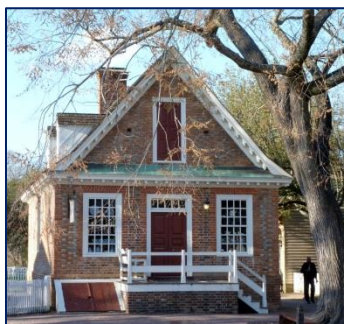
Taliaferro Cole Stable (1941)



Pollard House (1925) - 131 Chandler Court



Charlotte Brooks House (1910)
245 North Henry Street



Prentiss Store (1740)
213 East Duke of Gloucester Street



Williams-Sonoma (1931-32)
440 West Duke of Gloucester Street

NEW BUILDINGS AND ADDITIONS - (AP-1)

New designs should contribute to existing buildings within the district. Additions and alterations should be compatible with existing building designs with the use of high quality building materials.

- New buildings and additions should be constructed of brick or horizontal wood siding. Wood shingles may be appropriate depending on the specific design.
- Materials such as vinyl, aluminum, metal siding, tiled faced or ceramic-faced masonry units, synthetic stucco and synthetic siding to include cementitious siding are not allowed.
- Wood siding should be horizontal with a six to eight inch exposure.
- Side and rear elevations should relate to the design elements and materials of the front elevation.
- Any wall should be built of not more than two materials, and those materials should change along a horizontal line such as a floor line or gable end. The heavier material such as brick should always be below the lighter material such as wood.
- Small additions may be constructed with the same type of siding that is on the building provided it matches the existing siding material in color, size and thickness.
- Synthetic trim is not allowed.
- All wood siding, wood shingles and wood trim shall be sealed with paint or an opaque stain.
- Mortar used for brick should be buff or gray. White mortar is not recommended.



Williamsburg Lodge – North Guest Houses (2006) – 310 South England Street

DOORS - (AP-1)

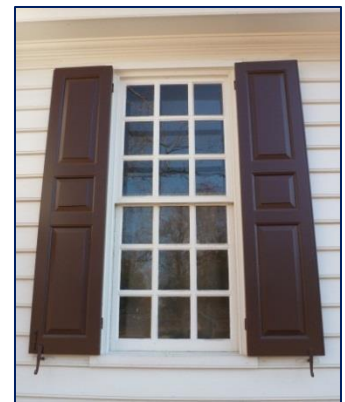
- Entrance doors should be wood with panels or some variation thereof. Windows, side lights and transoms in entrance doors are permitted, provided that they are proportioned and appropriate to the specific style of the building.
- If entrance doors with windows have muntins they must be on the exterior.
- Flush doors with applied trim are not permitted.
- Garage doors, utilities doors, and service doors should be painted wood, steel, aluminum or fiberglass and should correspond with the style of the building.
- Storm doors should be made of painted wood or aluminum and have a full view window. Storm doors should relate to the architectural character of the entrance.
- Screen doors should be made of wood or aluminum, may be shuttered or appropriate for the specific style of the building.



WINDOWS, STORMS, SHUTTERS AND AWNINGS - (AP-1)

Windows contribute to the façade of a building and will be evaluated on (1) the pattern of the openings and their size; (2) proportions of the frame and sash; (3) configuration of window panes; (4) muntin profiles; (5) material; (6) paint color; (7) characteristics of the glass; and (8) details or decorative elements.

- Wood, vinyl clad wood, or pre-finished aluminum clad wood windows are allowed.
- Simulated divided light windows must have muntins on the exterior.
- Windows should be rectangular single, double, or triple hung or operable casement type.
- Semi-circular, circular, or hexagonal windows are permitted, but with minimal application.
- Windows on the ground floor should be the same proportion but slightly larger than windows on upper floors.
- Window openings in upper floors should be centered directly over openings in the ground floor whenever possible.
- Openings in gable ends should be symmetrical.
- Window openings should be at least three feet from building corners.
- Total glazed area on the street frontage should not exceed 30 percent of the total surface.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Shutters if proposed must be painted wood, sized to fit the opening with appropriate hardware.
- Composite, vinyl and metal shutters are not allowed.
- Shutters nailed to the side of a building are not allowed.
- Awnings if used must be made of fabric with side panels to cover the undercarriage. Vinyl and metal awnings are not allowed.



ROOFS - (AP-1)

The types of wood-framed roofs typically fall into categories of symmetrical gables, gambrels, or hip roofs. Gables are the most prevalent. One-story primary roofs should have slopes not less than 7:12 and no steeper than 14:12. Two-story primary roofs may be as low as 4:12 and no steeper than 14:12. Secondary roofs may have slopes less than 7:12 depending on the material used (i.e. metal roof over porches can be less than 7:12; whereas a shingle roof should be not less than 7:12). On residential structures, flat roofs should be used only as occupiable areas directly accessible from the outdoors. These must have appropriate parapets and railings.

- Wood shingles, slate, architectural grade fiberglass shingles, metal shingles, high quality synthetic slate, textured concrete shingles and standing seam metal roofs are permitted. High quality synthetic slate roofs must meet the following minimum standards: Impact UL 2218-Class 4, Accelerated Weathering ASTM 4798—little or no color changes, and Freeze-thaw ICC-ES Acceptance Criteria ACO7 Section 4.9—no crazing, cracking or other adverse surface changes, which must be provided with the application.
- Shiny metal roofs, exposed aluminum or exposed galvanized metal roofs, ceramic or synthetic ceramic roofing tiles, stamped metal decorative roofing panels, flat roofs, plastic, vinyl or other synthetic type of roofs are not permitted.
- Metal roofs are recommended for porch roofs or ancillary elements and should be copper or galvalume type. Other colors may be acceptable on a case-by-case basis.
- Non-glossy colored anodized metal roofs should be gray, black, brown, dark green or other earth tones. Flashing may be copper, lead, vinyl or anodized aluminum.
- Copper roofs, gutters and flashing should not be painted or sealed but should be permitted to age naturally.
- Steep gable roofs like the “Swiss Chalet” shall not be used (pitches in excess of 14:12).
- Single plane pitch roofs i.e. shed roofs for houses shall not be used on the main house but can be used on wings.
- Roof penetrations should be on the rear slope of roofs and painted to match the color of the roof. Skylights or solar panels should be mounted on the rear slope of the roof, colored to match the roof and not be visible from the street.
- Dormers should have gabled, hipped, or shed roofs.
- Shiny metal roof vents, fireplace stacks, plumbing vents or other pipes are not acceptable.
- Gutters and downspouts should be made of copper or aluminum and may be half-round or ogee. Where gutters are not used, it is recommended that brick, concrete or gravel be placed at the drip line.



PORCHES, DECKS, TERRACES, STOOPS AND RAILS - (AP-1)

- Porches with a narrow frontage should be no less than six feet deep, while porches with a wide frontage should be at least eight feet deep.
- Porches and stoops should be constructed of wood and contain appropriate sized columns and rails for the design.
- Terraces may be constructed using masonry elements that are consistent with the structure.
- Materials for rails may be wood, wrought iron, steel or aluminum and should be designed to complement the architectural design of the building.
- Face nailed balusters to a bottom and top rail are not acceptable.
- Vinyl and other modern synthetic materials are not acceptable.
- Screened porches should be located on the side or rear of the building.
- Columns are preferred to be Tuscan or Doric orders, although other types exist within the area. When used, columns should have correct proportions and profiles as described in *The American Vignola* and other traditional pattern books.
- Columns may be made of wood, although certain grades of fiberglass columns and cellular PVC are acceptable.
- All posts should be at least five inches in least dimension.
- Wood columns and posts should be sealed with paint or opaque stain.
- Modern deck designs are not appropriate in a front yard or if visible from a public street.
- Stoops at secondary entrances should be made of wood, brick or concrete. If made of concrete the sidewalls and stair risers should be faced with brick.



Lawson House (c 1907, r 2007)
411 Scotland Street



J C Darlington House (c 1904, 40)
349 Scotland Street

CHIMNEYS - (AP-1)

- Chimneys can be used but are not required. They should be constructed of brick. Modern designed building may construct chimneys with the same material as the siding of the building, painted to match the building.
- Stucco is not permitted.
- Chimneys should be capped to conceal spark arresters.
- Primary chimneys should be rectilinear in design and should have a corbelled termination in keeping with existing types.

OUTBUILDINGS - (AP-1)

- Outbuildings must meet the same criteria (i.e. walls, openings, roof etc.) as noted above for the main building.
- Metal outbuildings are not permitted.



FENCES - (AP-1)

- Wood, aluminum and wrought iron fences that are in keeping with a residential scale are permitted. The maximum height allowed for fences located in a front yard is four feet with up to six feet being allowed for a side or rear yard.
- Salt-treated wooden fences must be painted or stained.
- Chain-link, wire, plastic, and vinyl fences are not permitted.
- The finished side must face the street and/or adjoining properties.
- Fences should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Fences that disrupt the harmony of the streetscape by breaking up established architectural rhythms are discouraged.



SITE ELEMENTS, SITING AND LANDSCAPE FEATURES - (AP-1)

- Site elements should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Mechanical equipment and trash facilities should be located in a side or rear yard and screened with a fence which must be stained or painted to match the building.
- Retaining walls if visible from the street shall be constructed of brick. Retaining walls not visible from the street may be constructed of brick, stone, block, timber or smooth finished concrete. If rails are required they should be constructed of wrought iron or aluminum and colored to blend in with the building.
- Site furnishings such as tables, chairs, benches, planters, flower pots, light poles, trash containers, bike racks and the like, must be submitted and approved by the Board on a case-by-case basis.

SMALL CELL WIRELESS FACILITIES-(AP-1)

- Exterior location is not permitted. Any proposed facilities must be located on the interior of a building.



ACCEPTABLE COLORS - (AP-1)

- Buildings shall be stained or sealed a natural earth tone or should be painted using colors from the following Benjamin Moore Williamsburg color palette. Colors with an ** and highlighted in red are not allowed for the body or siding of a building. If used they would be limited to doors, shutters, trim and windows.

White and Tan Color Range

Harwood Putty CW-5	Capitol White CW-10	Parish White CW-15
Geddy White CW-20	Williamsburg Stone CW-25	Market Square Shell CW-30
Palace Tan CW-35	Lime White CW-95	Prentis Cream CW-100
Bracken Cream CW-105	Calcite CW-110**	Cornice Tan CW-115
Bracken Biscuit CW-120	Brush Beige CW-125	Coffeehouse Tan CW-130
Timson Sand CW-140	Brick House Tan CW-145	Randolph Bisque CW-185
Raleigh Tan CW-190	Chowning's Tan CW-195	Franklin White CW-200**
Galt Peach CW-210**	Byrd Beige CW- 365	Wythe Tan CW-415
Bruton White CW-710		

Brown and Black Color Range

Raleigh Sorrell CW-135	Everard Coffee CW-150**	Revolutionary Storm CW-155**
Dixon Brown CW-160	Coffeehouse Chocolate CW-165	Tarpley Brown CW-170
Tucker Chocolate CW-175**	Bucktrout Brown CW-180**	Walnut CW-240**
Reid Brown CW-260	Charlton Brown CW-265	Mopboard Black CW-680**
Lampblack CW-695	Bone Black CW-715**	

Gray Color Range

Tavern Gray CW-40	York Gray CW-45	Tyler Gray CW-50
Finnie Gray CW-55	Cole Stone CW-60	Gunsmith Gray CW-65**
Pelham Gray CW-70**	Randolph Stone CW-75	Carter Gray CW-80
Randolph Gray CW-85**	Tavern Charcoal CW-90	Powell Smokehouse CW-360**
Pearl CW-640**	Powell Gray CW-665**	Ambler Slate CW-685**
Bracken Slate CW-690**	Slate CW-700	Tucker Gray CW-705
Bone Black CW-715	Geddy Gray CW-720**	

Red Color Range

St. George Red CW-245**	Carriage Red CW-250	Palace Arms Red CW-255
Nicholson Red CW-270	Cochineal Red CW-330**	

Green Color Range

Gloucester Green CW-440**	Burwell Green CW-445**	Greenhow Moss CW-450**
Timson Green CW-470	Palmer Green CW-475**	Bassett Hall Green CW-480
Burgess Green CW-485**	Levingston Green CW-490	Russell Green CW-495**
Nicholson Green CW-500**	Windsor Green CW-505**	Waller Green CW-510
Palace Green CW-520**	Raleigh Green CW-525**	Colonial Verdigris CW-530**
Buffet Green CW-535**	Goodwin Green CW-555**	

Blue Color Range

Everard Blue CW-575**	Wetherburn's Blue CW-580	Washington Blue CW-630**
Apollo Blue CW-645	Chiswell Blue CW-660	Brush Blue CW-675**

Yellow and Gold Color Range

Ludwell White CW-275	Moir Gold CW-280**	Gamboge CW-285**
English Ochre CW-290**	Sweeney Yellow CW-370	Tavern Ochre CW-375
Massicot CW-380	Coffeehouse Ochre CW-385	Bryan Ochre CW-390
Governor's Gold CW-395	Damask Yellow CW-400**	Chamber Yellow CW-410
Wythe Gold CW-420	Scrivener Gold CW-430	Everard Gold CW-435

- Painted siding and trim should be limited to two colors from the approved color palette unless additional colors are approved by the Architectural Review Board on a case-by-case basis. A third color from the approved colors may be used for shutters and doors.
- Additional paint colors from the approved color palette may be approved on a case-by-case basis.
- Brick that is bright red, orangish-red, pink, light red, or other colors may not be acceptable. Brick color should be a through-the-body color.
- Siding that is pink, bright silver, red, bright green or blue, or colors that are visually out of character for the area and architectural style are not acceptable.
- Wood fences and decks must be painted or stained if this is necessary to compliment the site or is required for maintenance of the materials.
- If colors are proposed that are not from the approved color palette they may be approved by the Architectural Review Board on a case-by-case basis. Specific color chips or samples to include the color name must be submitted with the application.
- Existing single-family dwellings or commercial buildings may duplicate or match existing color schemes without approval from the Architectural Review Board.
- Any new color scheme for single family dwellings that are proposed to be applied to already painted surfaces and which are comprised of no more than three colors as stated above from the Benjamin Moore Colonial Williamsburg color palette.
- Any new color schemes for commercial buildings must be approved by the Architectural Review Board. New color schemes should respect the architectural style of the building and colors of existing signage for any business on the property.



The Blue Bell (1952) – 102 Waller Street

EXISTING BUILDINGS - (AP-1)

Preserving architectural features on the remaining historical buildings in the City is one of the principal goals of the ***Design Review Guidelines***. Maintaining and repairing features such as siding, trim, doors and windows is germane to that goal. Conservation is preferable to reconstruction because it preserves evidence of past building practices and construction techniques by retaining original materials. Original wood siding, trim, and architectural features should be retained and repaired on existing buildings whenever possible.

SIDING - (AP-1)

- Wood siding and trim must be replaced with siding and trim that matches or duplicates the existing material or product, which does not require approval by the Architectural Review Board.
- Synthetic siding and trim are not allowed as a replacement material for existing wood siding and trim.
- For guidance on rehabbing older buildings see Chapter IX Rehabilitation.



321 Scotland Street (1935, 2010)



Hay's Cabinetmaking Shop (1965)
303 East Nicholson Street

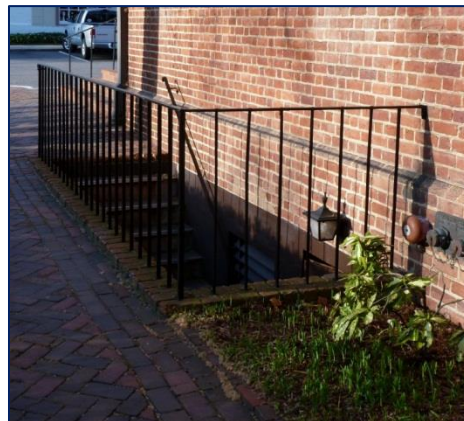
WINDOWS, STORMS AND SHUTTERS - (AP-1)

- Existing wood windows should be retained and repaired for buildings located in **AP-1**.
- If restoration is not possible then copies of the original window matching the existing sash and frames with duplicates in wood following the early form and details will be required.
- Other window types may be replaced with windows that are allowed in **AP-1** for new buildings or additions on a case-by-case basis.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Operable wooden shutters, painted, sized to fit the opening must be retained and repaired.
- If restoration of existing shutters is not possible then copies of the original wood shutter must be installed sized to fit the opening with appropriate hardware. Composite, vinyl and metal shutters are not allowed.



OTHER ELEMENTS - (AP-1)

- Existing roofing material should be repaired or replaced in kind.
- Wood shingles, slate, architectural grade fiberglass shingles, textured concrete shingles and standing seam metal roofs are permitted.
- Material replacement in kind does not require approval from the Architectural Review Board.
- Any change in materials on the exterior requires approval from the Architectural Review Board.
- Decks are not historic features for buildings prior to World War II and are therefore not acceptable in a front yard or if they are visible from a public street.
- More appropriate outdoor seating areas for backyards of traditional architecture styles are stone or brick terraces, patios or pergolas designed to be compatible with the architectural style of the building.
- Unpainted, pressure-treated decks are not acceptable.
- If visible from a public street decks must be compatible with building and contain rails that are appropriate for the architectural style of the building.
- For buildings constructed after World War II decks may be acceptable on a rear elevation if the design is compatible with the architectural style of the building.
- For other elements and color schemes not listed in this section, see New Buildings and Additions in the **AP-1** above.



Architectural Preservation and Protection Districts

AP-1 Architectural Preservation District

Architectural Protection District AP-1

ARCHITECTURAL PRESERVATION DISTRICTS - (AP-2)

Architectural Preservation District AP-2 contains older neighborhoods surrounding **Architectural Preservation District AP-1** in the City such as College Terrace, Burns Lane, Indian Springs, West Williamsburg and Capitol Heights. These areas have a multitude of styles ranging from modest bungalows, to gabled colonial revival, Dutch colonial revival, Virginia gambrel colonial revival and vernacular dwellings.



Jerome H Casey House (1929)
711 Richmond Road



Baxter House (1941, R-1988)
106 Adams Street



Johnson House (1926, 98)
500 Capitol Landing Road



Hagey House (2001) – 501 Randolph Street



Harwood/Schreiber House (1928) – 502 Newport Avenue

NEW BUILDINGS AND ADDITIONS - (AP-2)

New designs should contribute to existing buildings located in the district. Additions and alterations should be compatible with existing building designs with the use of high quality building materials.

- New buildings and additions should be constructed of brick, horizontal wood siding or cementitious siding. Wood shingles may be appropriate depending on the specific design.
- Materials such as vinyl, aluminum, metal siding, tiled faced or ceramic-faced masonry units, synthetic stucco are not allowed.
- Wood siding should be horizontal with a six to eight inch exposure.
- Side and rear elevations should relate to the design elements and materials of the front elevation.
- Any wall should be built of not more than two materials, and those materials should change along a horizontal line such as a floor line or gable end. The heavier material such as brick should always be below the lighter material such as wood.
- Small additions may be constructed with the same type of siding that is on the building provided it matches the existing siding material in color, size and thickness.
- Solid synthetic trim may be allowed on a case-by-case basis.
- All wood siding, wood shingles and wood trim shall be sealed with paint or an opaque stain.
- Mortar used for brick should be buff or gray. White mortar is not recommended.



McLendon House (2013) – 306 Page Street

DOORS - (AP-2)

- Entrance doors should be wood or fiberglass with panels or some variation thereof. Windows, side lights and transoms in entrance doors are permitted, provided that they are proportioned and appropriate to the specific style of the building.
- If entrance doors with windows have muntins they must be on the exterior.
- Flush doors with applied trim are not permitted.
- Garage doors, utilities doors, and service doors should be painted wood, steel, aluminum or fiberglass and should correspond with the style of the building.
- Storm doors should be made of painted wood or aluminum and have a full view window. Storm doors should relate to the architectural character of the entrance.
- Screen doors should be made of wood or aluminum, shuttered, or appropriate for the specific style of the building.



WINDOWS, STORMS, SHUTTERS AND AWNINGS - (AP-2)

Windows contribute to the façade of a building and will be evaluated on (1) the pattern of the openings and their size; (2) proportions of the frame and sash; (3) configuration of window panes; (4) muntin profiles; (5) material; (6) paint color; (7) characteristics of the glass; and (8) details or decorative elements.

- Wood, vinyl clad wood, or pre-finished aluminum clad wood windows are allowed.
- High quality synthetic windows may be approved on a case-by-case basis. Applicants must provide the AAMA/WDMA/CAS101/I.S.2/A440-11 certification reference, manufacturer's warranty (minimum 15-year), local examples of existing installation with a duration of at least 5 years, and how long the manufacturer has been in business (recommended length of business is at least as long as the warranty period).
- Simulated divided light windows must have muntins on the exterior.
- Windows should be rectangular single, double, or triple hung or operable casement type.
- Semi-circular, circular, or hexagonal windows are permitted, but with minimal application.
- Windows on the ground floor should be the same proportion but slightly larger than windows on upper floors.
- Window openings in upper floors should be centered directly over openings in the ground floor whenever possible.
- Openings in gable ends should be symmetrical.
- Window openings should be at least three feet from building corners.
- Total glazed area on the street frontage should not exceed 30 percent of the total surface.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Shutters if proposed must be painted wood, sized to fit the opening with appropriate hardware. High quality composite shutters may be approved on a case-by-case basis.
- Vinyl and metal shutters are not allowed.
- Shutters nailed to the side of a building are not allowed.
- Awnings if used must be made of fabric with side panels to cover the undercarriage. Vinyl and metal awnings are not allowed.



Potter House (1949) - 123 Indian Springs Road

ROOFS - (AP-2)

The types of wood-framed roofs typically fall into categories of symmetrical gables, gambrels, or hip roofs. Gables are the most prevalent. One-story primary roofs should have slopes not less than 7:12 and no steeper than 14:12. Two-story primary roofs may be as low as 4:12 and no steeper than 14:12. Secondary roofs may have slopes less than 7:12 depending on the material used (i.e. metal roof over porches can be less than 7:12; whereas a shingle roof should be not less than 7:12). On residential structures, flat roofs should be used only as occupiable areas directly accessible from the outdoors. These must have appropriate parapets and railings.

- Wood shingles, slate, architectural grade fiberglass shingles, metal shingles, high quality synthetic slate, textured concrete shingles and standing seam metal roofs are permitted. High quality synthetic slate roofs must meet the following minimum standards: Impact UL 2218-Class 4, Accelerated Weathering ASTM 4798—little or no color changes, and Freeze-thaw ICC-ES Acceptance Criteria ACO7 Section 4.9—no crazing, cracking or other adverse surface changes, which must be provided with the application.
- Shiny metal roofs, exposed aluminum or exposed galvanized metal roofs, ceramic or synthetic ceramic roofing tiles, stamped metal decorative roofing panels, flat roofs, plastic, vinyl or other synthetic type of roofs are not permitted.
- Metal roofs are recommended for porch roofs or ancillary elements and should be copper or galvalume type. Other colors may be acceptable on a case-by-case basis.
- Non-glossy colored anodized metal roofs should be gray, black, brown, dark green or other earth tones. Flashing may be copper, vinyl or anodized aluminum.
- Copper roofs, gutters and flashing should not be painted or sealed but should be permitted to age naturally.
- Gable roof ends should have a minimum overhang of 12 inches.
- Steep gable roofs like the “Swiss Chalet” shall not be used (pitches in excess of 14:12).
- Single plane pitch roofs i.e. shed roofs for houses shall not be used on the main house but can be used on wings.
- Roof penetrations should be on the rear slope of roofs and painted to match the color of the roof. Skylights or solar panels should be mounted on the rear slope of the roof, colored to match the roof and not be visible from the street.
- Dormers should have gabled, hipped, or shed roofs.
- Shiny metal roof vents, fireplace stacks, plumbing vents or other pipes are not acceptable.
- Gutters and downspouts should be made of copper or aluminum and may be half-round or ogee. Where gutters are not used, it is recommended that brick, concrete or gravel be placed at the drip line.



PORCHES, DECKS, TERRACES, STOOPS AND RAILS - (AP-2)

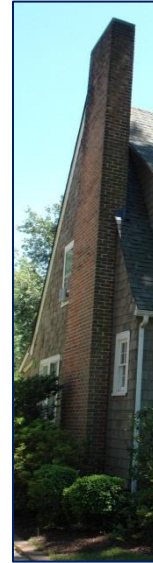
- Porches with a narrow frontage should be no less than six feet deep, while porches with a wide frontage should be at least eight feet deep.
- Porches and stoops should be constructed of wood and contain appropriate sized columns and rails for the design.
- Terraces may be constructed using masonry elements that are consistent with the structure.
- Vinyl and other synthetic materials are not acceptable, except that solid synthetic materials will be considered on a case-by-case basis. Samples of proposed materials must be submitted with the application.
- Materials for railings may be wood, wrought iron, steel or aluminum and should be designed to complement the architectural design of the building. Synthetic rails will be considered on a case-by-case basis.
- Face nailed balusters to a bottom and top rail are not acceptable.
- Screened porches should be located on the side or rear of the building.
- Columns are preferred to be Tuscan or Doric orders, although other types exist within the area. When used, columns should have correct proportions and profiles as described in *The American Vignola* and other traditional pattern books.
- Columns may be made of wood, although certain grades of fiberglass columns and cellular PVC are acceptable.
- All posts should be at least five inches in least dimension.
- Wood columns and posts should be sealed with paint or opaque stain.
- Modern deck designs are not appropriate in a front yard or if visible from a public street.
- Stoops at secondary entrances should be made of wood, brick or concrete. If made of concrete the sidewalls and stair risers should be faced with brick.



Young House (2011) – 307 Capitol Landing Road

CHIMNEYS - (AP-2)

- Chimneys can be used but are not required. They should be constructed of brick (unpainted) or if constructed with the same material as the siding of the building, painted to match the building.
- Stucco is not permitted.
- Chimneys should be capped to conceal spark arresters.
- Primary chimneys should be rectilinear in design and should have a corbelled termination in keeping with existing types.



OUTBUILDINGS – (AP-2)

- Outbuildings must meet the same criteria (i.e. walls, openings, roof etc.) as noted above for the main building.
- Metal outbuildings are not permitted.



FENCES – (AP-2)

- Wood, aluminum and wrought iron fences that are in keeping with a residential scale are permitted. The maximum height allowed for fences located in a front yard is four feet with up to six feet being allowed for a side or rear yard.
- Salt-treated wooden fences must be painted or stained.
- Chain-link, wire, plastic, and vinyl fences are not permitted.
- The finished side must face the street and/or adjoining properties.
- Fences should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Fences that disrupt the harmony of the streetscape by breaking up established architectural rhythms are discouraged.



SITE ELEMENTS, SITING AND LANDSCAPE FEATURES – (AP-2)

- Site elements should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Mechanical equipment and trash facilities should be located in a side or rear yard and screened with a fence which must be stained or painted to match the building.
- Retaining walls if visible from the street shall be constructed of brick. Retaining walls not visible from the street may be constructed of brick, stone, block, timber or smooth finished concrete. If rails are required they should be constructed of wrought iron or aluminum and colored to blend in with the building.
- Site furnishings such as tables, chairs, benches, planters, flower pots, light poles, trash containers, bike racks and the like, must be submitted and approved by the Board on a case-by-case basis.

SMALL CELL WIRELESS – (AP-2)

- Facilities located on the interior of a building are permitted. Facilities not visible from the Colonial Williamsburg Historic Area CW or from a public right-of-way may be allowed if appearance and screening requirements are designed as outlined in the Design Review Guidelines. Co-location on utility poles may be permitted if appearance and screening requirements are designed as outlined in the Design Review Guidelines.
- Facilities shall not be visible from the Colonial Williamsburg Historic Area CW or a public right-of-way. Facilities shall be painted the same color as the structure for facilities affixed to the exterior of a building. All surfaces must contain a matte finish. Co-location on utility poles on private property must be painted to match the utility pole color. No shiny or reflective surfaces shall be allowed.
- Screening may be required for facilities. If required, screening shall match the existing building material. If there is no existing building, the facility must be screened with a wooden privacy fence not to exceed six-feet in height. Salt-treated wooden fences must be painted or stained with the finished side of the fence facing the street and/or adjacent properties.



ACCEPTABLE COLORS – (AP-2)

- Buildings shall be stained or sealed a natural earth tone or should be painted using colors from the following Benjamin Moore Williamsburg color palette. Colors with an ** and highlighted in red are not allowed for the body or siding of a building. If used they would be limited to doors, shutters, trim and windows.

White and Tan Color Range

Harwood Putty CW-5	Capitol White CW-10	Parish White CW-15
Geddy White CW-20	Williamsburg Stone CW-25	Market Square Shell CW-30
Palace Tan CW-35	Lime White CW-95	Prentis Cream CW-100
Bracken Cream CW-105	Calcite Tan CW-110**	Cornice Tan CW-115
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Brown and Black Color Range

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Reid Brown CW-260	Charlton Brown CW-265	Mopboard Black CW-680**
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Finnie Gray CW-55	Cole Stone CW-60	Gunsmith Gray CW-65**
Pelham Gray CW-70**	Randolph Stone CW-75	Carter Gray CW-80
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Palace Green CW-520**	Raleigh Green CW-525**	Colonial Verdigris CW-530**
Buffet Green CW-535**	Goodwin Green CW-555**	

Blue Color Range

Everard Blue CW-575**	Wetherburn's Blue CW-580	Washington Blue CW-630**
Apollo Blue CW-645	Chiswell Blue CW-660	Brush Blue CW-675**

Yellow and Gold Color Range

Ludwell White CW-275	Moir Gold CW-280**	Gamboge CW-285**
English Ochre CW-290**	Sweeney Yellow CW-370	Tavern Ochre CW-375
Massicot CW-380	Coffeehouse Ochre CW-385	Bryan Ochre CW-390
Governor's Gold CW-395	Damask Yellow CW-400**	Chamber Yellow CW-410
Wythe Gold CW-420	Scrivener Gold CW-430	Everard Gold CW-435

- Painted siding and trim should be limited to two colors from the approved color palette unless additional colors are approved by the Architectural Review Board on a case-by-case basis. A third color may be used for shutters and doors.
- Additional paint colors from the approved color palette may be approved on a case-by-case basis.
- Brick that is bright red, orangish-red, pink, light red, or other colors may not be acceptable. Brick color should be a through-the-body color.
- Siding that is pink, bright silver, red, bright green or blue, or colors that are visually out of character for the area and architectural style are not acceptable.
- Wood fences and decks must be painted or stained if this is necessary to compliment the site or is required for maintenance of the materials.
- If colors are proposed that are not from the approved color palette they may be approved by the Architectural Review Board on a case-by-case basis. Specific color chips or samples to include the color name must be submitted with the application.
- Existing single-family dwellings or commercial buildings may duplicate or match existing color schemes without approval from the Architectural Review Board.
- Any new color scheme for single family dwellings that are proposed to be applied to already painted surfaces and which are comprised of no more than three colors as stated above from the Benjamin Moore Colonial Williamsburg color palette.
- Any new color schemes for commercial buildings must be approved by the Architectural Review Board. New color schemes should respect the architectural style of the building and colors of existing signage for any business on the property.



Mullin House (1931) – 203 Harrison Avenue



Chambers House (1940) – 116 Indian Springs Road

EXISTING BUILDINGS - (AP-2)

Preserving architectural features on the remaining historical buildings in the City is one of the principal goals of the ***Design Review Guidelines***. Maintaining and repairing features such as siding, trim, doors and windows is germane to that goal. Conservation is preferable to reconstruction because it preserves evidence of past building practices and construction techniques by retaining original materials. Original wood siding, trim, and architectural features should be retained and repaired on existing buildings whenever possible.



Steel House (1950) - 104 Adams Street



Holland Tourist Home (1928) – 601 Richmond Road

SIDING – (AP-2)

- Wood siding and trim on buildings listed on or eligible for the National Register of Historic Places (Appendix 1) must be replaced with wood siding and trim that matches or duplicates the existing material or product.
- Wood siding and trim on buildings listed on the City's Listing of Buildings 50 years old or older (Appendix 2) should be replaced with wood siding and trim that matches or duplicates the existing material or product.
- Except for buildings listed on or eligible for the National Register of Historic Places (Appendix 1), the Architectural Review Board may grant the following exceptions on a case-by-case basis for existing buildings:
 1. If the original siding material is wood and it is covered with a synthetic material that cannot be replaced in kind because the siding material is no longer available in the market, replacement with other types of similar synthetic siding may be considered as follows, provided that the original wood material is not removed:
 - a. Aluminum siding may be replaced with vinyl siding that resembles horizontal wood siding.
 - b. Asbestos siding may be replaced with vinyl siding that resembles horizontal wood siding.
 2. If the original siding material is a synthetic material and cannot be replaced in kind because the existing siding is no longer available in the market, replacement with horizontal wood siding or similar synthetic siding may be considered as follows:

- a. Aluminum siding may be replaced with vinyl or cementitious siding that resembles horizontal wood siding.
 - b. Vinyl siding may be replaced with cementitious siding that resembles horizontal wood siding.
 - c. Asbestos siding may be replaced with cementitious siding that resembles horizontal wood siding.
 - d. Masonite siding or other hardboard siding may be replaced with cementitious siding that resembles horizontal wood siding.
3. If vinyl siding is approved for use, it shall meet the following standards:

Standard: ASTM D3679 is the accepted industry standard for quality.

Thickness: A minimum of 0.042 inches is required for impact resistance and durability.

Style: A beaded siding with a minimum of 6.5 inches of exposure is required.

Color: White, ivory, and other soft, colonial style colors are recommended.

Applicants must provide specifications of their vinyl siding and trim details with their application. The specifications must address the items listed above. When applying vinyl siding over existing siding it is important to consider retaining trim details with their applications.

- Synthetic trim will be considered on a case-by-case basis.
- For guidance on rehabbing older buildings see Chapter IX Rehabilitation.



Morecock House (1895, R-2009) – 305 Capitol Landing Road

WINDOWS, STORMS AND SHUTTERS - (AP-2)

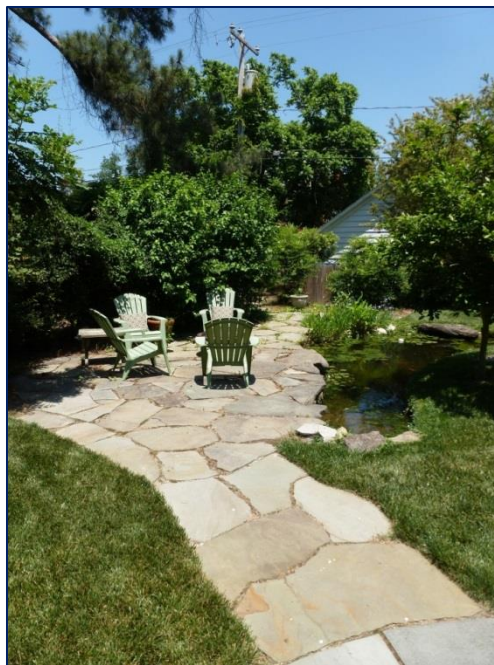
- Existing wood windows should be retained and repaired for buildings located in **AP-2**.
- If restoration is not possible then copies of the original window matching the existing sash and frames with duplicates in wood following the early form and details will be required.
- Other window types may be replaced with windows that are allowed in **AP-2** for new buildings or additions on a case-by-case basis.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Operable wooden shutters, painted, sized to fit the opening must be retained and repaired.
- If restoration of existing shutters is not possible then copies of the original wood shutter must be installed sized to fit the opening with appropriate hardware. Composite, vinyl and metal shutters are not allowed.



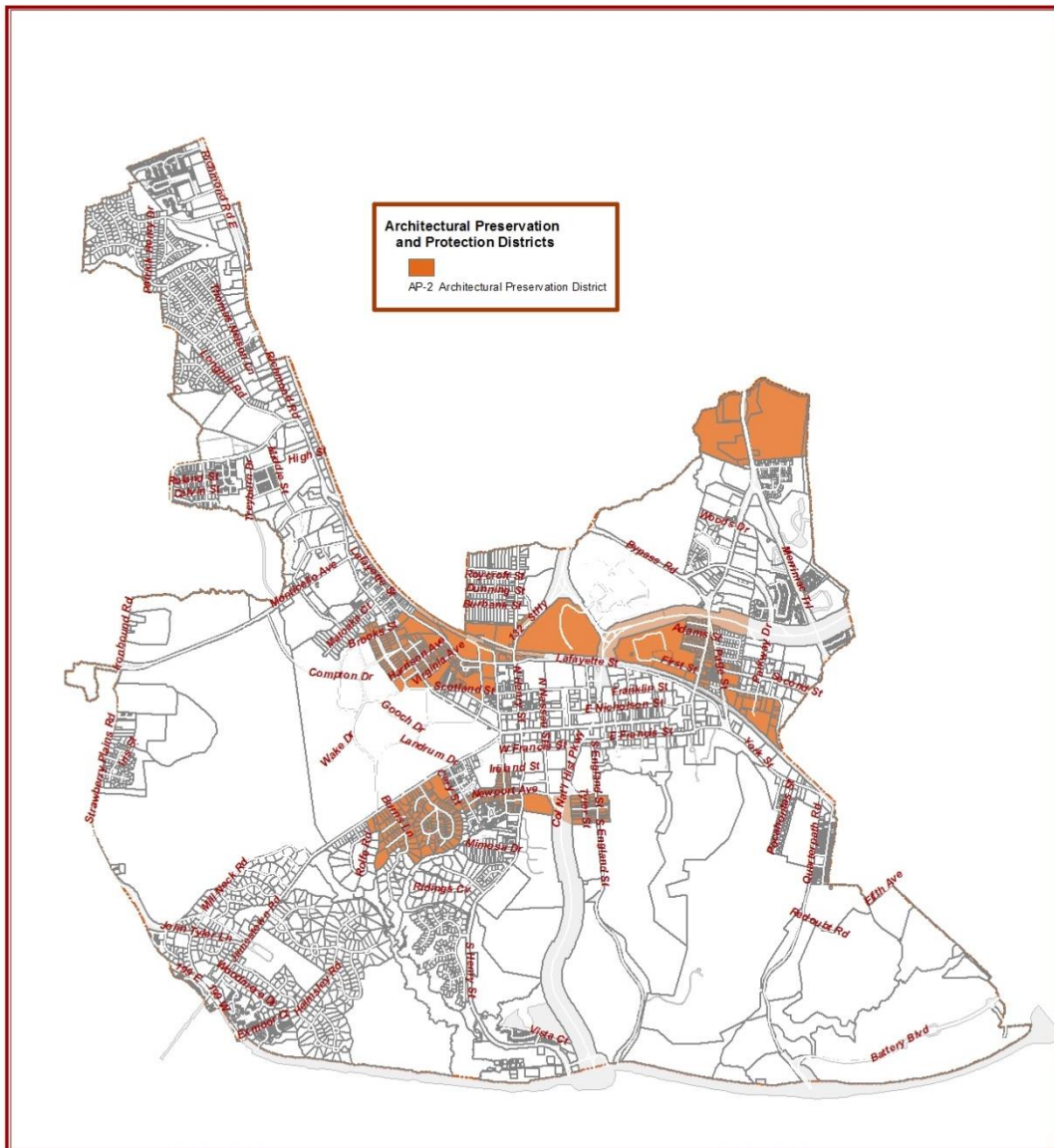
Pittman House (1916) - 503 South England Street

OTHER ELEMENTS - (AP-2)

- Existing roofing material should be repaired or replaced in kind.
- Wood shingles, slate, architectural grade fiberglass shingles, high quality synthetic slate, textured concrete shingles and standing seam metal roofs are permitted. High quality synthetic slate roofs must meet the following minimum standards: Impact UL 2218-Class 4, Accelerated Weathering ASTM 4798—little or no color changes, and Freeze-thaw ICC-ES Acceptance Criteria ACO7 Section 4.9—no crazing, cracking or other adverse surface changes, which must be provided with the application.
- Material replacement in kind does not require approval from the Architectural Review Board.
- Any change in materials on the exterior requires approval from the Architectural Review Board.
- Decks are not historic features for buildings prior to World War II and are therefore not acceptable in a front yard or if they are visible from a public street.
- More appropriate outdoor seating areas for backyards of traditional architecture styles are stone or brick terraces, patios or pergolas designed to be compatible with the architectural style of the building.
- Unpainted, pressure-treated decks are not acceptable.
- If visible from a public street they must be compatible with building and contain rails that are appropriate for the architectural style of the building.
- For buildings constructed after World War II decks may be acceptable on a rear elevation if the design is compatible with the architectural style of the building.
- For other elements and color schemes not listed in this section, see New Buildings and Additions in the **AP-2** above.



ARCHITECTURAL PRESERVATION DISTRICT (AP-2)



City of Williamsburg, Virginia

Architectural Protection District AP-2

ARCHITECTURAL PRESERVATION DISTRICT (AP-3)

This District contains neighborhoods that were constructed post World War II Colonial Revival and a more modern style dwelling which includes the Pinecrest, Capitol Court Crispus Attucks and the Arts and Cultural District.

The Arts and Cultural District is a subset of **AP-3** and allows for more design freedom of paint colors, sign colors and site elements to distinguish this area from other areas in the City. Specifically, Chapter V, windows (page 40), Chapter V, acceptable colors (page 47), and Signs Chapter VII, Page 7 describe guidelines that are uniquely applicable in the Arts and Cultural District.



(1939) – 711 Hamilton Street



Keene House (1982) – 500 Capitol Court



Russell House (1975) – 418 Harriett Tubman Drive



(1950) – 708 Tanyard Street

NEW BUILDINGS AND ADDITIONS - (AP-3)

New designs should contribute to existing buildings located in the district. Additions and alterations should be compatible with existing building designs with the use of high quality building materials.

- New buildings and additions should be constructed of brick, horizontal wood siding, vinyl, aluminum or cementitious siding. Wood shingles may be appropriate depending on the specific design.
- If vinyl siding is approved for use, it shall meet the following standards:

Standard: ASTM D3679 is the accepted industry standard for quality.

Thickness: A minimum of 0.042 inches is required for impact resistance and durability.

Style: A beaded siding with a minimum of 6.5 inches of exposure is required.

Color: White, ivory, and other soft, colonial style colors are recommended.

Applicants must provide specifications of their vinyl siding and trim details with their application. The specifications must address the items listed above. When applying vinyl siding over existing siding it is important to consider retaining trim details with their applications.

- Materials such as metal siding, tiled faced or ceramic-faced masonry units and synthetic stucco are not allowed.
- Wood siding should be horizontal with a six to eight inch exposure.
- Side and rear elevations should relate to the design elements and materials of the front elevation.
- Any wall should be built of not more than two materials, and those materials should change along a horizontal line such as a floor line or gable end. The heavier material such as brick should always be below the lighter material such as wood.
- Small additions may be constructed with the same type of siding that is on the building provided it matches the existing siding material in color, size and thickness.
- Solid synthetic trim may be allowed on a case-by-case basis.
- All wood siding, wood shingles and wood trim shall be sealed with paint or an opaque stain.
- Mortar used for brick should be buff or gray. White mortar is not recommended.



DOORS - (AP-3)

- Entrance doors should be wood or fiberglass with panels or some variation thereof. Windows, side lights and transoms in entrance doors are permitted, provided that they are proportioned and appropriate to the specific style of the building.
- Flush doors with applied trim are not permitted.
- Garage doors, utilities doors, and service doors should be painted wood, steel, aluminum or fiberglass and should correspond with the style of the building.
- Storm doors should be made of painted wood or aluminum. Storm doors should relate to the architectural character of the entrance.
- Screen doors should be made of wood or aluminum with full view, shuttered, or appropriate for the specific style of the building.



WINDOWS, STORMS, SHUTTERS AND AWNINGS - (AP-3)

Windows contribute to the façade of a building and will be evaluated on (1) the pattern of the openings and their size; (2) proportions of the frame and sash; (3) configuration of window panes; (4) muntin profiles; (5) material; (6) paint color; (7) characteristics of the glass; and (8) details or decorative elements.

- Wood, vinyl clad wood, or pre-finished aluminum clad wood windows are allowed.
- High quality synthetic windows may be approved on a case-by-case basis. Applicants must provide the AAMA/WDMA/CAS101/I.S.2/A440-11 certification reference, manufacturer's warranty (minimum 15-year), local examples of existing installation with a duration of at least 5 years, and how long the manufacturer has been in business (recommended length of business is at least as long as the warranty period).
- Windows in the Arts and Cultural District must have muntins on the exterior.
- Windows located in **AP-3** outside of the Arts and Cultural District may have muntins on the interior or exterior of the glass.
- Windows should be rectangular single, double, or triple hung or operable casement type.
- Semi-circular, circular, or hexagonal windows are permitted, but with minimal application.
- Windows on the ground floor should be the same proportion but slightly larger than windows on upper floors.
- Window openings in upper floors should be centered directly over openings in the ground floor whenever possible.
- Openings in gable ends should be symmetrical.
- Window openings should be at least three feet from building corners.
- Total glazed area on the street frontage should not exceed 30 percent of the total surface.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Shutters if proposed must be painted wood, vinyl or high quality composite shutters that are sized to fit the opening with appropriate hardware.
- Metal shutters are not allowed.
- Shutters nailed to the side of a building are not allowed.
- Awnings if used must be made of fabric with side panels to cover the undercarriage. Vinyl and metal awnings are not allowed.

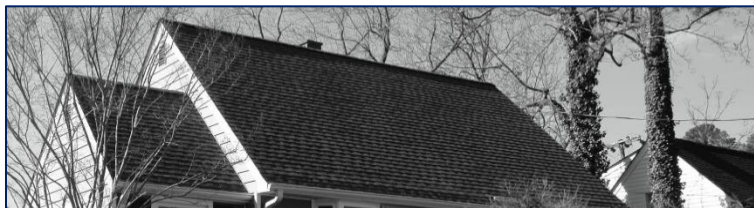


(1947) - 712 Monument Avenue

ROOFS - (AP-3)

The types of wood-framed roofs typically fall into categories of symmetrical gables, gambrels, or hip roofs. Gables are the most prevalent. One-story primary roofs should have slopes not less than 7:12 and no steeper than 14:12. Two-story primary roofs may be as low as 4:12 and no steeper than 14:12. Secondary roofs may have slopes less than 7:12 depending on the material used (i.e. metal roof over porches can be less than 7:12; whereas a shingle roof should be not less than 7:12). On residential structures, flat roofs should be used only as occupiable areas directly accessible from the outdoors. These must have appropriate parapets and railings.

- Wood shingles, slate, architectural grade fiberglass shingles, metal shingles, high quality synthetic slate, textured concrete shingles and standing seam metal roofs are permitted. High quality synthetic slate roofs must meet the following minimum standards: Impact UL 2218-Class 4, Accelerated Weathering ASTM 4798—little or no color changes, and Freeze-thaw ICC-ES Acceptance Criteria ACO7 Section 4.9—no crazing, cracking or other adverse surface changes, which must be provided with the application.
- Shiny metal roofs, exposed aluminum or exposed galvanized metal roofs, ceramic or synthetic ceramic roofing tiles, stamped metal decorative roofing panels, flat roofs, plastic, vinyl or other synthetic type of roofs are not permitted.
- Metal roofs are recommended for porch roofs or ancillary elements and should be copper or galvalume type. Other colors may be acceptable on a case-by-case basis.
- Non-glossy colored anodized metal roofs should be gray, black, brown, dark green or other earth tones. Flashing may be copper, vinyl or anodized aluminum.
- Copper roofs, gutters and flashing should not be painted or sealed but should be permitted to age naturally.
- Gable roof ends should have a minimum overhang of 12 inches.
- Steep gable roofs like the “Swiss Chalet” shall not be used (pitches in excess of 14:12).
- Single plane pitch roofs i.e. shed roofs for houses shall not be used on the main house but can be used on wings.
- Roof penetrations should be on the rear slope of roofs and painted to match the color of the roof. Skylights or solar panels should be mounted on the rear slope of the roof, colored to match the roof and not be visible from the street.
- Dormers should have gabled, hipped, or shed roofs.
- Shiny metal roof vents, fireplace stacks, plumbing vents or other pipes are not acceptable.
- Gutters and downspouts should be made of copper or aluminum and may be half-round or ogee. Where gutters are not used, it is recommended that brick, concrete or gravel be placed at the drip line.



PORCHES, DECKS, TERRACES, STOOPS AND RAILS - (AP-3)

- Porches with a narrow frontage should be no less than six feet deep, while porches with a wide frontage should be at least eight feet deep.
- Porches and stoops should be constructed of wood and contain appropriate sized columns and rails for the design.
- Terraces may be constructed using masonry elements that are consistent with the structure.
- Vinyl and other synthetic materials are not acceptable, except that solid synthetic materials will be considered on a case-by-case basis. Samples of proposed materials must be submitted with the application.
- Materials for railings may be wood, wrought iron, steel or aluminum and should be designed to complement the architectural design of the building. Synthetic rails will be considered on a case-by-case basis.
- Face nailed balusters to a bottom and top rail are not acceptable.
- Screened porches should be located on the side or rear of the building.
- Columns are preferred to be Tuscan or Doric orders, although other types exist within the area. When used, columns should have correct proportions and profiles as described in *The American Vignola* and other traditional pattern books.
- Columns may be made of wood, although certain grades of fiberglass columns and cellular PVC are acceptable.
- All posts should be at least five inches in least dimension.
- Wood columns and posts should be sealed with paint or opaque stain.
- Modern deck designs are not appropriate in a front yard or if visible from a public street.
- Stoops at secondary entrances should be made of wood, brick or concrete. If made of concrete the sidewalls and stair risers should be faced with brick.



CHA

CHIMNEYS - (AP-3)

- Chimneys can be used but are not required. They should be constructed of brick (unpainted) or if constructed with the same material as the siding of the building, painted to match the building.
- Stucco is not permitted.
- Chimneys should be capped to conceal spark arresters.
- Primary chimneys should be rectilinear in design and should have a corbelled termination in keeping with existing types.



OUTBUILDINGS – (AP-3)

- Outbuildings must meet the same criteria (i.e. walls, openings, roof etc.) as noted above for the main building.
- Metal outbuildings are not permitted.



FENCES – (AP-3)

- Wood, aluminum and wrought iron fences that are in keeping with a residential scale are permitted. The maximum height allowed for fences located in a front yard is four feet with up to six feet being allowed for a side or rear yard.
- Salt-treated wooden fences must be painted or stained.
- Chain-link, wire, plastic, and vinyl fences are not permitted.
- The finished side must face the street and/or adjoining properties.
- Fences should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
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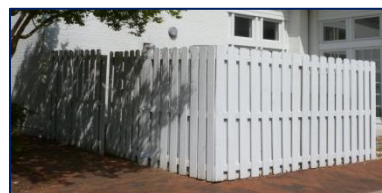


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- Site furnishings such as tables, chairs, benches, planters, flower pots, light poles, trash containers, bike racks and the like, must be submitted and approved by the Board on a case-by-case basis.

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Buffet Green CW-535**	Goodwin Green CW-555**	

Blue Color Range

Everard Blue CW-575**	Wetherburn's Blue CW-580	Washington Blue CW-630**
Apollo Blue CW-645	Chiswell Blue CW-660	Brush Blue CW-675**

Yellow and Gold Color Range

Ludwell White CW-275	Moir Gold CW-280**	Gamboge CW-285**
English Ochre CW-290**	Sweeney Yellow CW-370	Tavern Ochre CW-375
Massicot CW-380	Coffeehouse Ochre CW-385	Bryan Ochre CW-390
Governor's Gold CW-395	Damask Yellow CW-400**	Chamber Yellow CW-410
Wythe Gold CW-420	Scrivener Gold CW-430	Everard Gold CW-435

- Painted siding and trim should be limited to two colors from the approved color palette unless additional colors are approved by the Architectural Review Board on a case-by-case basis. A third color may be used for shutters and doors.
- Buildings located in the Arts and Cultural District will allow a wider range of colors and the total number of colors to allow flexibility and latitude in design.
- Additional paint colors from the approved color palette may be approved on a case-by-case basis.
- Brick that is bright red, orangish-red, pink, light red, or other colors may not be acceptable. Brick color should be a through-the-body color.
- Siding that is pink, bright silver, red, bright green or blue, or colors that are visually out of character for the area and architectural style are not acceptable.
- Wood fences and decks must be painted or stained if this is necessary to compliment the site or is required for maintenance of the materials.
- If colors are proposed that are not from the approved color palette they may be approved by the Architectural Review Board on a case-by-case basis. Specific color chips or samples to include the color name must be submitted with the application.
- Existing single-family dwellings or commercial buildings may duplicate or match existing color schemes without approval from the Architectural Review Board.
- Any new color scheme for single family dwellings that are proposed to be applied to already painted surfaces and which are comprised of no more than three colors as stated above from the Benjamin Moore Colonial Williamsburg color palette.
- Any new color schemes for commercial buildings must be approved by the Architectural Review Board. New color schemes should respect the architectural style of the building and colors of existing signage for any business on the property.



1939 - 711 Hamilton Street



Perkins House (1927) – 725 Lafayette Street

EXISTING BUILDINGS - (AP-3)

Preserving architectural features on the remaining historical buildings in the City is one of the principal goals of the ***Design Review Guidelines***. Maintaining and repairing features such as siding, trim, doors and windows is germane to that goal. Conservation is preferable to reconstruction because it preserves evidence of past building practices and construction techniques by retaining original materials. Original wood siding, trim, and architectural features should be retained and repaired on existing buildings whenever possible.



(1937) – 104 Westover Avenue

SIDING – (AP-3)

- Wood siding and trim on buildings listed on or eligible for the National Register of Historic Places (Appendix 1) must be replaced with wood siding and trim that matches or duplicates the existing material or product.
- Wood siding and trim on buildings listed on the Cities Listing of Buildings 50 years old or older (Appendix 2) should be replaced with wood siding and trim that matches or duplicates the existing material or product.
- Except for buildings listed on or eligible for the National Register of Historic Places (Appendix 1), the Architectural Review Board may grant the following exceptions on a case-by-case basis for existing buildings:
 1. If the original siding material is wood and it is covered with a synthetic material that cannot be replaced in kind because the siding material is no longer available in the market, replacement with other types of similar synthetic siding may be considered as follows, provided that the original wood material is not removed:
 - a. Aluminum siding may be replaced with vinyl siding that resembles horizontal wood siding.
 - b. Asbestos siding may be replaced with vinyl siding that resembles horizontal wood siding.
 2. If the original siding material is a synthetic material and cannot be replaced in kind because the existing siding is no longer available in the market, replacement with horizontal wood siding or similar synthetic siding may be considered as follows:
 - a. Aluminum siding may be replaced with vinyl or cementitious siding that resembles horizontal wood siding.
 - b. Vinyl siding may be replaced with cementitious siding that resembles horizontal wood siding.

- c. Asbestos siding may be replaced with cementitious siding that resembles horizontal wood siding.
 - d. Masonite siding or other hardboard siding may be replaced with cementitious siding that resembles horizontal wood siding.
 - 3. If vinyl siding is approved for use, it shall meet the following standards:
 - Standard:** ASTM D3679 is the accepted industry standard for quality.
 - Thickness:** A minimum of 0.042 inches is required for impact resistance and durability.
 - Style:** A beaded siding with a minimum of 6.5 inches of exposure is required.
 - Color:** White, ivory, and other soft, colonial style colors are recommended.
- Applicants must provide specifications of their vinyl siding and trim details with their application. The specifications must address the items listed above. When applying vinyl siding over existing siding it is important to consider retaining trim details with their applications.
- Synthetic trim will be considered on a case-by-case basis.
 - For guidance on rehabbing older buildings see Chapter IX Rehabilitation.



(1940) – 704 Monumental Avenue

WINDOWS, STORMS AND SHUTTERS - (AP-3)

- Existing wood windows should be retained and repaired for buildings located in **AP-3**.
- If restoration is not possible then copies of the original window matching the existing sash and frames with duplicates in wood following the early form and details will be required.
- Other window types may be replaced with windows that are allowed in **AP-3** for new buildings or additions on a case-by-case basis.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Operable wooden shutters, painted, sized to fit the opening must be retained and repaired.
- If restoration of existing shutters is not possible then copies of the original wood shutter must be installed sized to fit the opening with appropriate hardware. Vinyl and metal shutters are not allowed.
- High quality composite material shutters that resemble original shutters may be approved on a case-by-case basis.



1001 Richmond Road

OTHER ELEMENTS - (AP-3)

- Existing roofing material should be repaired or replaced in kind.
- Wood shingles, slate, architectural grade fiberglass shingles, high quality synthetic slate, textured concrete shingles and standing seam metal roofs are permitted.
- Material replacement in kind does not require approval from the Architectural Review Board.
- Any change in materials on the exterior requires approval from the Architectural Review Board.
- Decks are not historic features for buildings prior to World War II and are therefore not acceptable in a front yard or if they are visible from a public street.
- More appropriate outdoor seating areas for backyards of traditional architecture styles are stone or brick terraces, patios or pergolas designed to be compatible with the architectural style of the building.
- Unpainted, pressure-treated decks are not acceptable.
- If visible from a public street they must be compatible with building and contain rails that are appropriate for the architectural style of the building.
- For buildings constructed after World War II decks may be acceptable on a rear elevation if the design is compatible with the architectural style of the building.
- For other elements and color schemes not listed in this section, see New Buildings and Additions in the **AP-3** above.

ARCHITECTURAL PRESERVATION DISTRICT (AP-3)

